

Single and Two Family Residential Development Basic Information / Requirements



The information below is a summary of highlights for your convenience. Refer to Zoning Bylaw 2003.2099 for complete details, regulations and requirements.

Required Minimum Setbacks – Zoning Bylaw 2003.2099 Section 6 (Residential) (Drawing 1)

Setbacks are measured from the property line to the nearest wall of the dwelling in the specified yard area.

Front yard – 7.6m (25')

Rear yard - 7.6m (25')

Side yard - 1.5m (5')

Side yard - 1.2m (4') to wall of attached garage with no living space above

Frontage – most narrow portion of the lot facing a street

Front Yard – A yard extending across the full width of a site between the front property line and the nearest main wall of the principle building

Rear Yard – A yard extending across the full width of the site between the rear property line and the nearest main wall of the principal building

Side Yard – A yard extending from the front yard to the rear yard between the side property line and the nearest main wall of the principle building or structure exclusive of any chimney breast.

Building Lines (Drawing 2)

6.1.2 (a) If the rear yard of one site in a block is adjacent to the front yard of the other sites in the block, then the rear yard of the site may be in line with the front yard of the remainder of the sites in the block, but in no case shall the said rear yard be less than 7.6m (25')

(b) On a corner lot in Residential Zones, the minimum side yard adjacent to the flanking street shall be 3m (10') rather than 1.5m (5').

Permitted Yard Encroachments (Drawing 3)

6.1.5 (1) Window, Sill, Eave, Etc.

- a) A window, sill belt course, cornice, eaves, gutter, bay window, chimney breast and similar non-structural architectural features may project a maximum of 600 millimetres into a required yard area.
- b) The total yard space covered by all the projections mentioned in subsection a), taken on a horizontal plane through the widest projection, shall not exceed 2 square meters
- c) Excepting that a bookcase, a cabinet or similar structure feature may project a distance of 600 millimetres into a required side yard provided that:
 - i) All projections on the building are located on one side only; and

ii) The total of a horizontal plane through the widest projections, does not exceed 2.5 square meters

(2) Fire Escape

A fire escape may project 1.5 metres into any required yard, but not closer than 150 millimetres to a lot line.

(3) Balconies, Decks and Uncovered Platforms

- i) Except in the case of a reduction permitted in Subsection 6.1.1 and as permitted in 6.1.5(3)i), a balcony, deck or step may project 1.8m (6') into any required front yard or 3.6m (11'9") into any required rear yard area.
- ii) A step may project 1m (39") into one of the required side yards
- iii) An uncovered platform or deck that is not more than 300mm (12") above approved grade does not require setbacks.

Fence Requirements

- 6.1.6 (1) Fence Height – Subject to the intersection sight line control guidelines in subsection 5.1.16, and other bylaw of the City, the height of a fence above grade measured at any point along the fence line shall not exceed;
- a) 2.44m (8') for the portion of the fence that does not extend beyond the foremost portion of the principal building on the site; (**rear yard area**)
 - b) .75m (2.5') for the portion of the fence that extends beyond the foremost portion of the principal building on the site (**front yard area**)

Accessory Use Regulations (Drawing 4)(See all regulations on website www.veyburn.ca)

11.6 Regulations for all Residential Zones

11.6.1 Detached accessory buildings shall not be located in the front yard

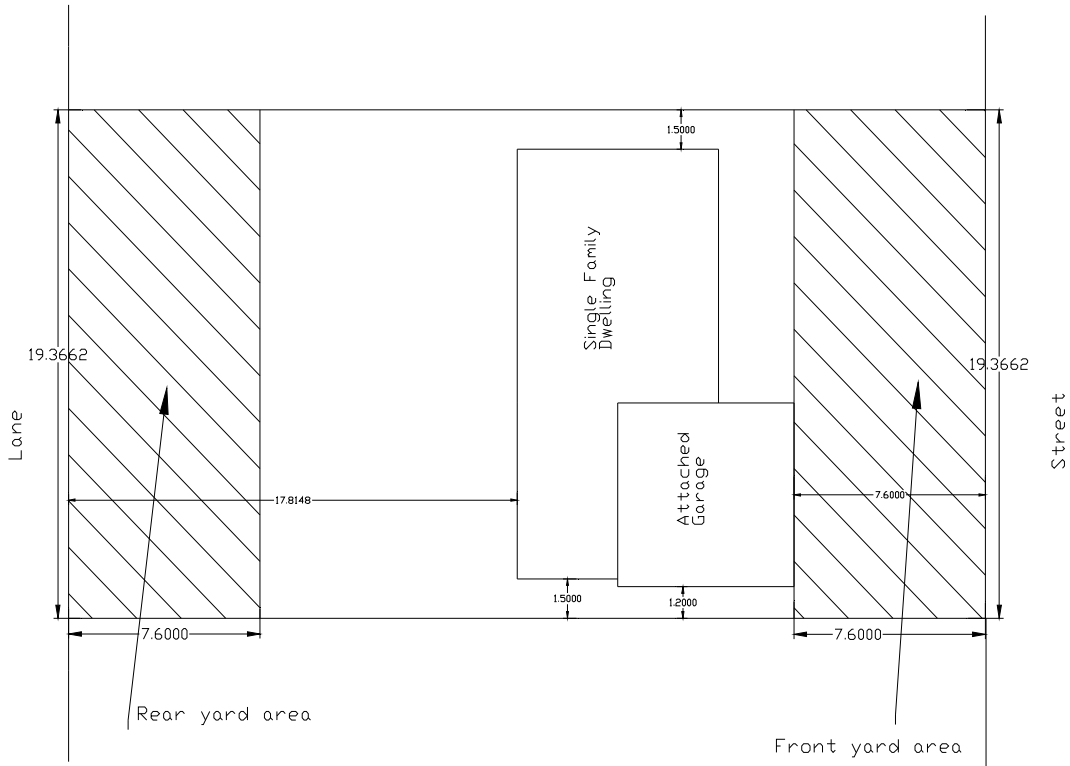
- (1) Detached accessory buildings shall be located a minimum of 1m (39") from the a principal building on site
- (2) No accessory building shall exceed 87m² (936 ft²) in gross floor area or 4m (13') in height. (Height – the greatest vertical distance measured from the approved grade level to a) in the case of a flat roof, the highest point of the roof surface or the parapet, whichever is greater, and b) in the case of a pitched roof, a point midway between the eaves and the ridge)
- (3) There shall be a minimum clear distance of 1m (39") between the side site line and the accessory building and 1m (39") between the rear site line and the accessory building provided that no entrance or exit door for a motor vehicle shall be closer than 1.5m (5') to a rear lot line or lane.

- (4) Where a garage, carport or other accessory building is within 3m (10') from the rear wall line of the main building; the minimum clear distance to the side site line on the side where the accessory building is located shall be 1.2m (4')
- (5) On corner sites, there shall be a minimum clear distance of 3m (10'0" between flankage side site line and the accessory building, except where access is from the frontage or rear, a detached accessory building may have a 1m (39") side distance.
- (6) Notwithstanding the other provisions of this section on any through site, as referred to in Section 6.1.2, no accessory buildings may be constructed in any required rear yard.
- (7) Accessory buildings shall not occupy the area greater than 40% of the required rear yard.
- (8) Notwithstanding the other provisions of this Section, the required rear and side yard setback distances for accessory building in Residential Zoning Districts may be reduced provided;
 - a) the maximum gross floor area is less than 9 square metres.
 - b) the accessory building is situated in the rear yard area.
 - c) no portion of the accessory building is located within 150 millimetres of any site line.
 - d) the maximum wall height shall be limited to 2.25 metres.
 - e) all roof drainage from the accessory building is directed onto the site.
- (9) Where a deck or similar structure is attached to the residence and extends into the required rear yard area, no roof, wall, screen or similar attachment may extend upward beyond a point 1.8 metres above the lowest adjacent floor on that portion of the deck extending into the required rear yard area.
- (10) Notwithstanding Section 5.1.15 (2), where an open deck or similar structure extends into the required side yard areas, the top elevation of that portion of the open deck or similar structure extending into the required side yard area shall not exceed 0.3 metres above the finished grade elevation for the site as specified by the Development Officer.
- (11) Subject to Subsection 11.6.1.6 an attached garage or carport forming part of the main building may project into the required rear yard area.

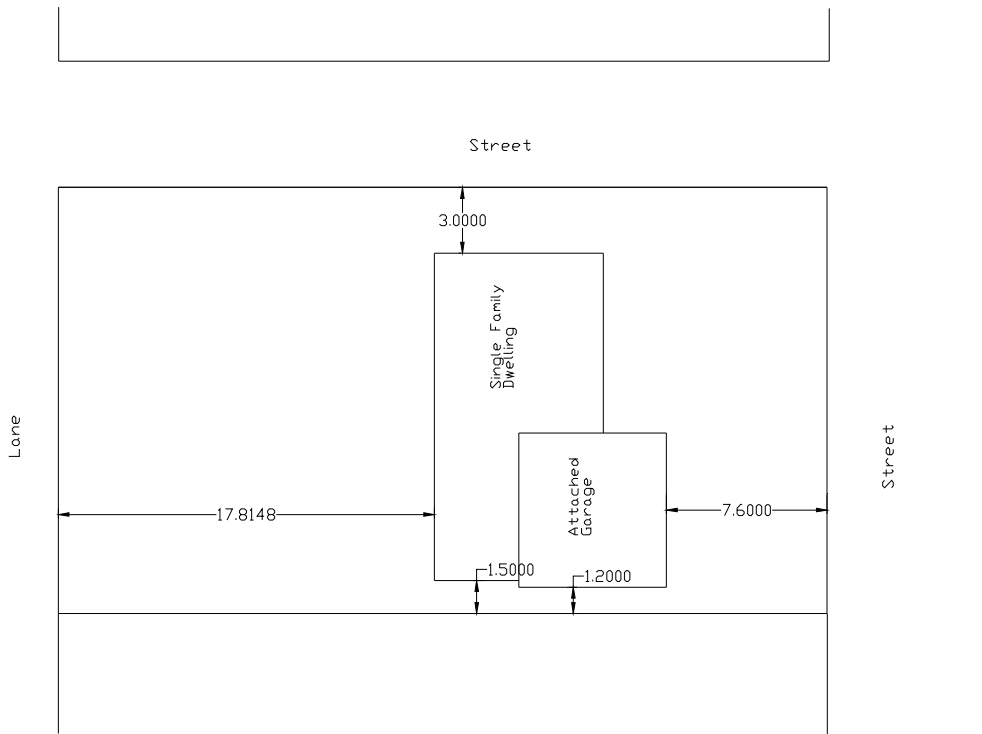
Residential Development Basic Information - Drawings



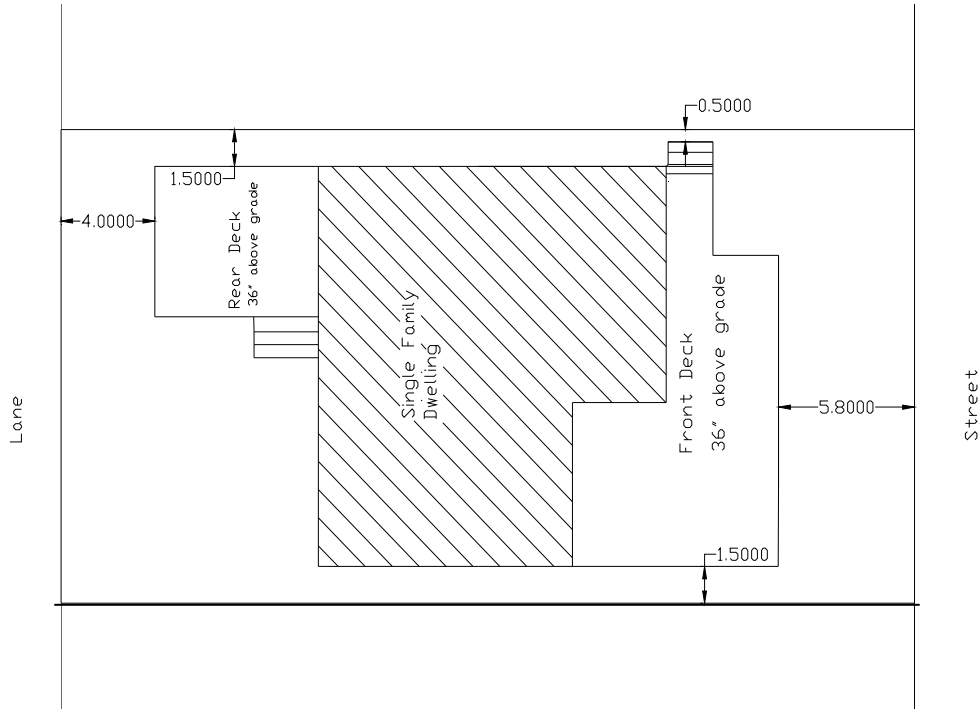
Drawing 1 – Setbacks & yard areas



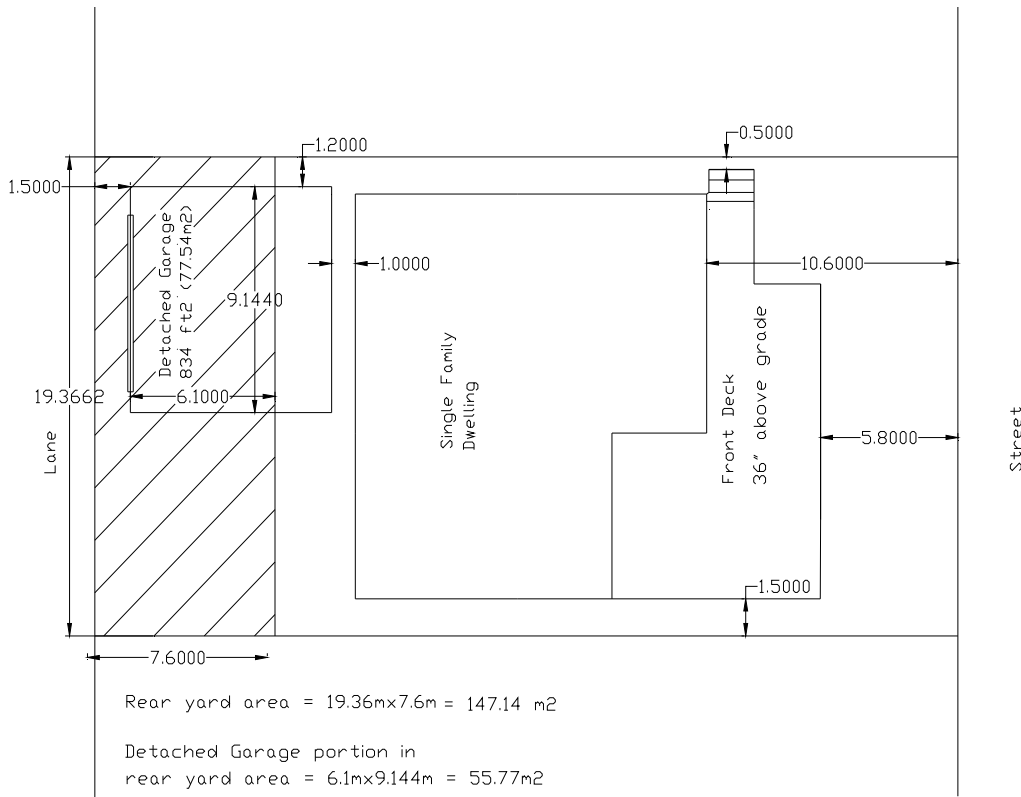
Drawing 2 – Building Lines



Drawing 3 – Permitted Yard Encroachments



Drawing 4 – Accessory Buildings



Rear yard area = 19.36m x 7.6m = 147.14 m²

Detached Garage portion in rear yard area = 6.1m x 9.144m = 55.77m²

Rear Yard Coverage = 55.77/147.14
Coverage = 37.9%